

NOTE: ALL SIGNATURES MUST BE MADE WITH A NAVY BLUE INK FELT TIP PEN.

CHAPEL HILL ESTATES, LP, OWNERS OF THE LAND SHOWN ON THE CHAPEL HILL ESTATES PLAN No. 1 HEREBY ADOPTS THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO MARSHALL TOWNSHIP, ALLEGHENY COUNTY, PENNSYLVANIA. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE PARTNERSHIP AND UPON ITS HEIRS, EXECUTORS, AND ASSIGNS.

IN WITNESS OF WHICH, TO THIS I SET MY HAND AND SEAL THIS 21 DAY OF May, 2012.

ATTEST: CHAPEL HILL ESTATES, LP, A PENNSYLVANIA LIMITED PARTNERSHIP BY: CH ESTATES, LLC, ITS GENERAL PARTNER

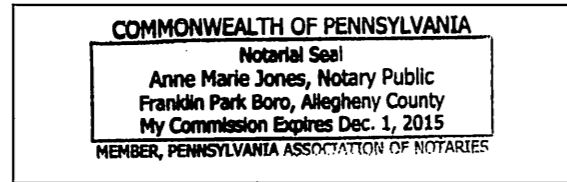
BY: Christopher G. Randall, Manager

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF ALLEGHENY, PERSONALLY APPEARED THE ABOVE NAMED CHRISTOPHER G. RANDALL, MANAGER OF CH ESTATES, LLC (GENERAL PARTNER OF CHAPEL HILL ESTATES, LP) AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THE ACT OF THE PARTNERSHIP.

WITNESS MY HAND AND NOTARIAL SEAL THIS 21 DAY OF May, 2012.

MY COMMISSION EXPIRES THE 1 DAY OF December, 2015

Anne Marie Jones, Notary Public



WE, CHAPEL HILL ESTATES, LP, OWNERS OF THE CHAPEL HILL ESTATES PLAN No. 1 DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF CHAPEL HILL ESTATES, LP AND IS RECORDED IN THE ALLEGHENY COUNTY DEPARTMENT OF REAL ESTATE IN DEED BOOK VOLUME 14743, PAGE 41 AND DEED BOOK VOLUME 14709, PAGE 251.

DATE 5/21/12 CHAPEL HILL ESTATES, LP, A PENNSYLVANIA LIMITED PARTNERSHIP BY: CH ESTATES, LLC, ITS GENERAL PARTNER

BY: Christopher G. Randall, Manager

TRI CITY ALUMINUM COMPANY, MORTGAGEE OF THE PROPERTY CONTAINED IN THE CHAPEL HILL ESTATES PLAN No. 1, CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

Witnesses: Ralph J. Claus, Michael

I CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF, THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARD REQUIRED.

DATE May 14, 2012 Kevin P. Hannegan, Reg. No. SU-048536-E

I CERTIFY THAT THIS PLAN MEETS ALL ENGINEERING AND DESIGN REQUIREMENTS OF THE APPLICABLE ORDINANCES OF MARSHALL TOWNSHIP, EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROPRIATE OFFICIALS OF THE MUNICIPALITY.

DATE May 21, 2012 Robert R. Robinson, P.E., TOWNSHIP ENGINEER, REG. No. 034934-E

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MARSHALL HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF MARSHALL ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS, OR ROADS, OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN, OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

Secretary: Sheryl Snyder, Vice Chairman: [Signature]

THE TOWNSHIP OF MARSHALL AGREES NOT TO ISSUE BUILDING PERMITS UNTIL SUCH TIME AS THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN REVIEWED AND APPROVED IN ACCORDANCE WITH THE PROVISIONS OF THE RULES AND REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

DATE May 21, 2012 Sheryl Snyder, Municipal Secretary

REVIEWED BY THE MARSHALL TOWNSHIP PLANNING COMMISSION THIS 1st DAY OF February, 2012. SIGNED AND NOTED AS APPROVED THIS 23rd DAY OF May, 2012.

Secretary: [Signature], Chairman: Jeffrey R. Davin

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MARSHALL THIS 5th DAY OF March, 2012. SIGNED AND NOTED AS APPROVED THIS 21st DAY OF May, 2012.

Secretary: Sheryl Snyder, Chairman of the Board: [Signature]

REVIEWED BY THE ALLEGHENY COUNTY DEPARTMENT OF ECONOMIC DEVELOPMENT ON THIS 31st DAY OF May, 2012.

Deputy Director: [Signature]

COMMONWEALTH OF PENNSYLVANIA, SS:

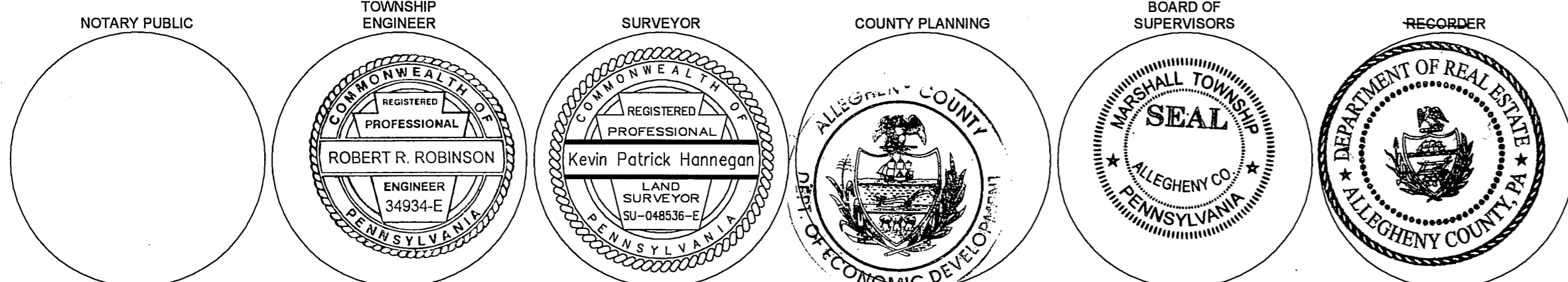
COUNTY OF ALLEGHENY

RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 234 PAGE(S) 92

GIVEN UNDER MY HAND AND SEAL THIS 1st DAY OF June, 2012.

Valerie McDonald, Records manager

Dept of Real Estate



STORMWATER DRAINAGE EASEMENT TABLE with columns: LINE, BEARING, DIST., RADIUS, LENGTH, CHD BEARING, CHD.-DIST, DELTA, DESC. (STM-1 to STM-40)

SANITARY SEWER EASEMENT TABLE with columns: LINE, BEARING, DIST., RADIUS, LENGTH, CHD BEARING, CHD.-DIST, DELTA, DESC. (SAN-1 to SAN-9)

EASEMENT TABLE with columns: LINE, BEARING, DIST., DESC. (S-1, S-2)

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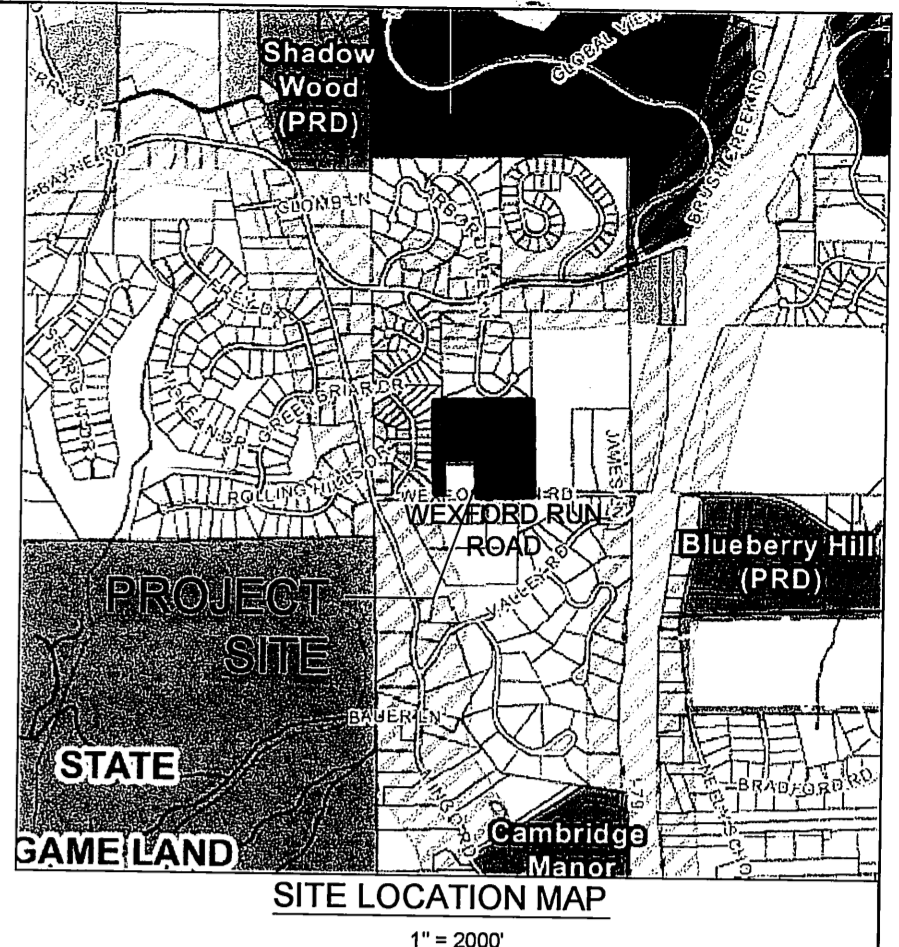
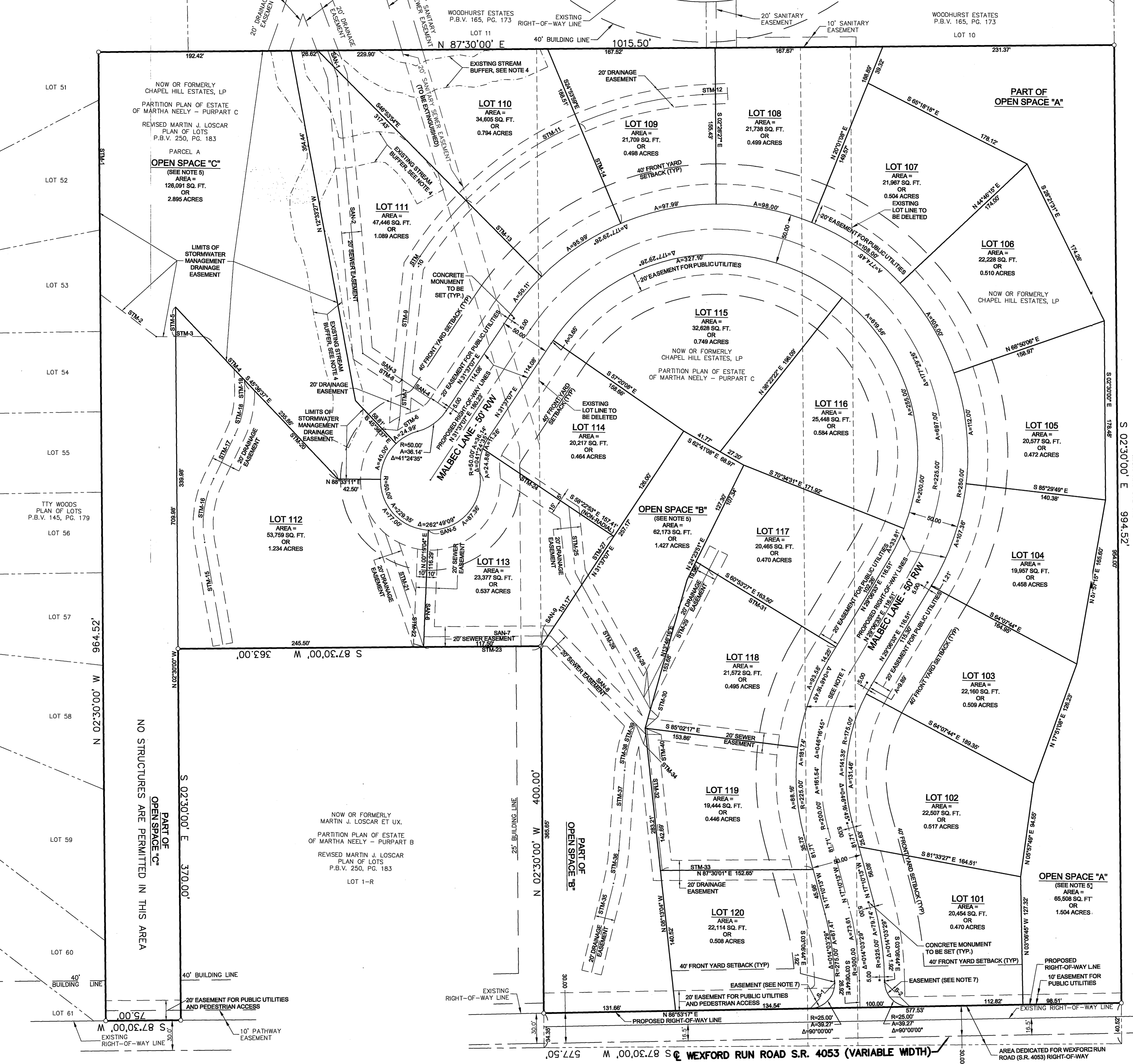
12-149 6377

GATEWAY Consulting Engineers & Surveyors logo and contact info. CHAPEL HILL ESTATES PLAN No. 1 MARSHALL TOWNSHIP ALLEGHENY COUNTY C.H. ESTATES LLC SHEET 2 OF 2

Path & Filename: C:\Projects\16000\16275-Chapel Hill Estates\16275-0001-Plan-Book.dwg Plot Date: 05/14/2012 11:50 AM K.C. Walker Save Date: 05/20/2012 1:43 PM

Plan & Elevation: C:\Projects\16275 Chapel Hill Estates\16275 Chapel Hill Estates.dwg (16275-001) Rec Plan.dwg
Plot Date: 12/10/2012 3:40 PM, K.C. Villar, Steve Calabrese (16275-001)

WOODHURST TERRACE 50'

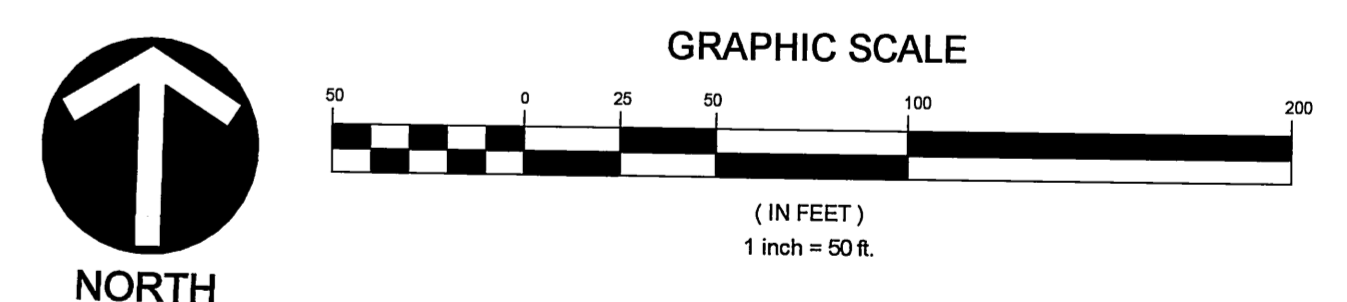


OWNER / DEVELOPER:
C.H. ESTATES LLC
6021 WALLACE ROAD EXT.
SUITE 202
WEXFORD, PA 15090
724-799-8680

PROPERTY AREA SUMMARY:

LOTS 101 THROUGH 120	514,373 SF OR 11.807 ACRES
OPEN SPACE A, B, AND C	253,772 SF OR 5.826 ACRES
MALBEC LANE RIGHT-OF-WAY	72,721 SF OR 1.671 ACRES
RIGHT-OF-WAY FOR DEDICATION	21,619 SF OR 0.496 ACRES
TOTAL AREA FOR RECORDING:	862,485 SF OR 19.800 ACRES

- NOTES:**
1. ~~EXISTING~~ 60'00" RIGHT-OF-WAY FOR INGRESS, EGRESS AND REGRESS TO BE EXTINGUISHED WITH THE RECORDING OF THIS PLAN.
 2. ALL BUILDING SETBACK LINES SHOWN OR CITED ON THIS PLAN ARE FOR INFORMATIONAL PURPOSES ONLY AND ONLY REPRESENT THE PRESENT BUILDING SETBACK REQUIREMENTS OF THE TOWNSHIP OF MARSHALL ZONING ORDINANCE. NO EASEMENT, COVENANT OR OTHER RESTRICTION LIMITING THE USE OR LOCATION OF PRESENT OR FUTURE DEVELOPMENT OF ANY OF THE PROPERTY(IES) INCLUDED IN THIS PLAN IS INTENDED BY THE SHOWING OF THE ABOVE REFERENCED BUILDING SETBACK LINES. HOWEVER, ANY MODIFICATION IN USE OR LOCATION OF THE BUILDING SETBACK LINES SHOWN OR CITED ON THIS PLAN MUST BE WITH PRIOR WRITTEN APPROVAL FROM THE TOWNSHIP OF MARSHALL.
 3. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 402 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, No. 426), KNOWN AS THE STATE HIGHWAY LAW, BEFORE ACCESS TO A STATE HIGHWAY IS PERMITTED.
 4. EXISTING STREAM BUFFER EXTENDS 15 FEET FROM CENTERLINE OF STREAM ON EACH SIDE. STREAM BUFFER YARD AREA SHALL BE MAINTAINED IN ITS NATURAL STATE.
 5. OPENSACE AREAS "A", "B", AND "C" TO BE OWNED BY THE HOMEOWNERS ASSOCIATION.
 6. SEE SHEET 2 OF 2 FOR RECORDING CERTIFICATIONS AND EASEMENT DESCRIPTIONS.
 7. PROPOSED EASEMENT FOR SIGNS, LANDSCAPING, AND/OR SHELTER.
 8. SITE ZONED AS "SUBURBAN RESIDENTIAL".



TOTAL AREA FOR RECORDING 862,485 SF OR 19.800 ACRES

GATEWAY
Consulting Engineers & Surveyors
400 Holiday Drive, Suite 300 Pittsburgh, PA 15220
Phone (412) 921-4030 - Fax (412) 921-9960
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On Call, On Time, On Target. <http://www.gatewayengineers.com> Copyright © 2008 Gateway Engineers Inc. All Rights Reserved.

**CHAPEL HILL ESTATES
PLAN No. 1**

SITUATE IN
**MARSHALL TOWNSHIP
ALLEGHENY COUNTY**

MADE FOR
C.H. ESTATES LLC

12-147
6377